



City of Linn Valley
Codes Office
913-757-2391
Codesclerk@linnvalleyks.com

Water Permit Application

Application Date: _____ Permit #: _____

Lot#: _____ 911 Street Address: _____

Property Owner: _____

Owner's Mailing Address: _____

Owner's Phone Number: _____ Email Address: _____

Contractor Information

	Registration#	Name	Phone
Plumbing	_____	_____	_____

Corner Pins must be staked by a licensed surveyor, and certificate submitted with this application.

Owner/Contractor Name _____ Date: _____

How to Draw a Site Plan

A site plan is a detailed drawing which depicts the current and proposed structures and uses of a lot. Site plans must be drawn to scale.

Drawing your own site plan is easier than you might expect. A site plan need not be professionally prepared and can be hand drawn. To draw an acceptable site plan, include all information required on this guideline document. However, depending on the size, scope, and complexity of the project, you may need to obtain professional expertise. You may also submit multiple drawings at different scales.

A Site Plan must include the following information: (See the Key Numbers on the attached Example Site Plan.)

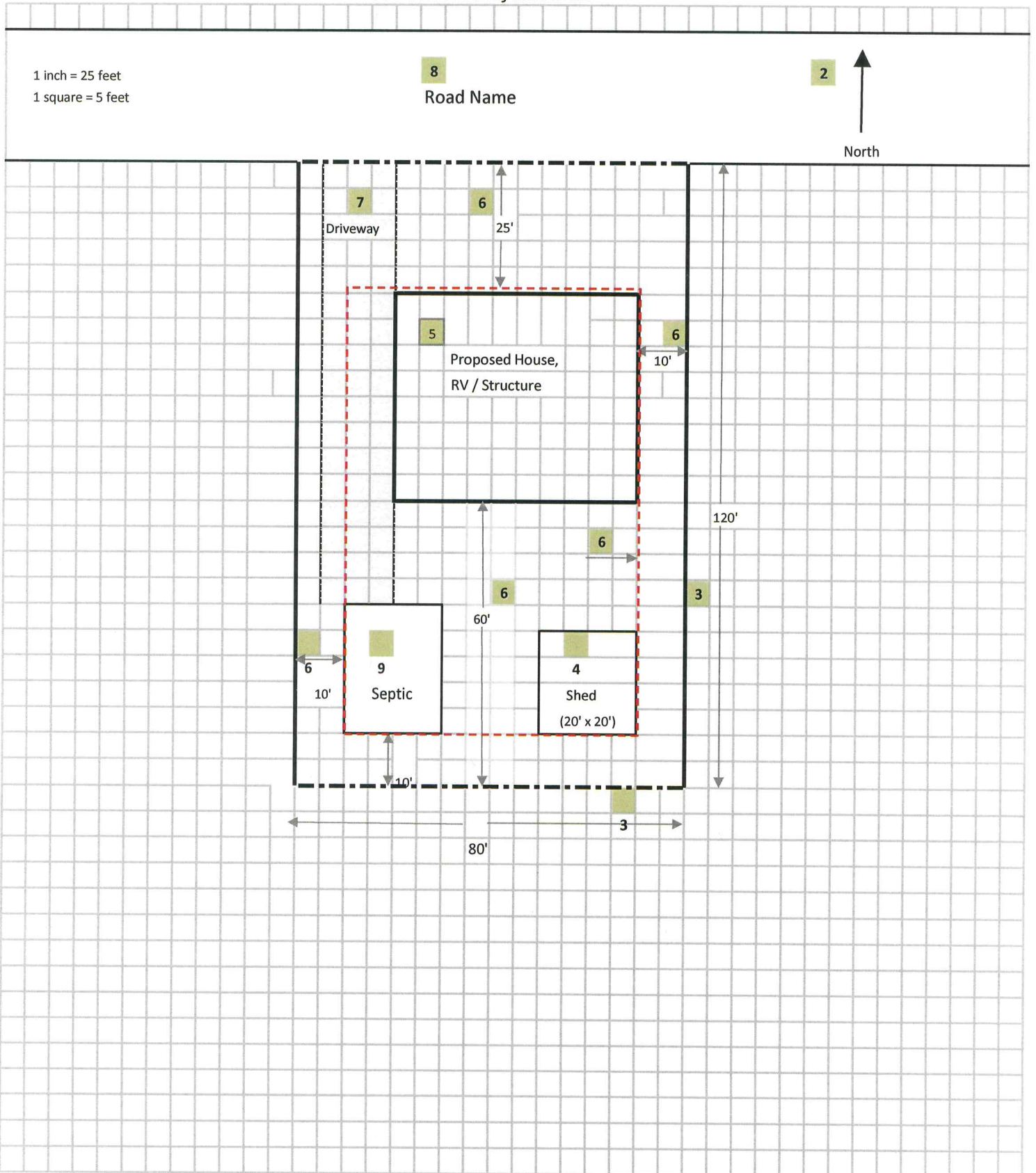
- 1** Scale at which site plan is drawn. 1 inch = 25 feet (1 square = 5 feet)
- 2** Must show North Arrow on site plan
- 3** Show all property lines and their dimensions
- 4** Identify existing structures on property (i.e. house, garage, shop, carport, skid shed, accessory buildings, sewer holding tanks and cistern holding tanks, etc.) Locate the structure on the property from the property line and indicate the size of the structure
- 5** Identify proposed new structures and additions. Locate all proposed structures on the property.
- 6** Setback distances of all proposed structures and/or additions are 10' from side and rear property lines and 25' from front property line. Accessory buildings, skid sheds, decks, propane tanks and privacy fences cannot be placed in front of a structure in the front 25' of the property.
Skid sheds under 240 sq. ft. and not permanent may be placed 5' from the rear and side property lines and cannot be in front of the residence.
- 7** Identify existing or proposed driveways and culverts as required.
- 8** Site plan should include the name(s) of adjacent roads and the required address of the property.
- 9** Sewer holding tanks and cistern tanks shall be setback 10' from side and rear of property lines and can be located within the back 10' of the front 25' setback or 15' setback from the front property line. Sewer holding tanks and cistern tanks must be separated by 5' and be located 5' from any structure. Sewer holding tank location must be within 20' access for pump truck.

Additional information may be required beyond the items listed above.

A site plan stamped by a Kansas professional engineer will be required for a new residence or accessory building.

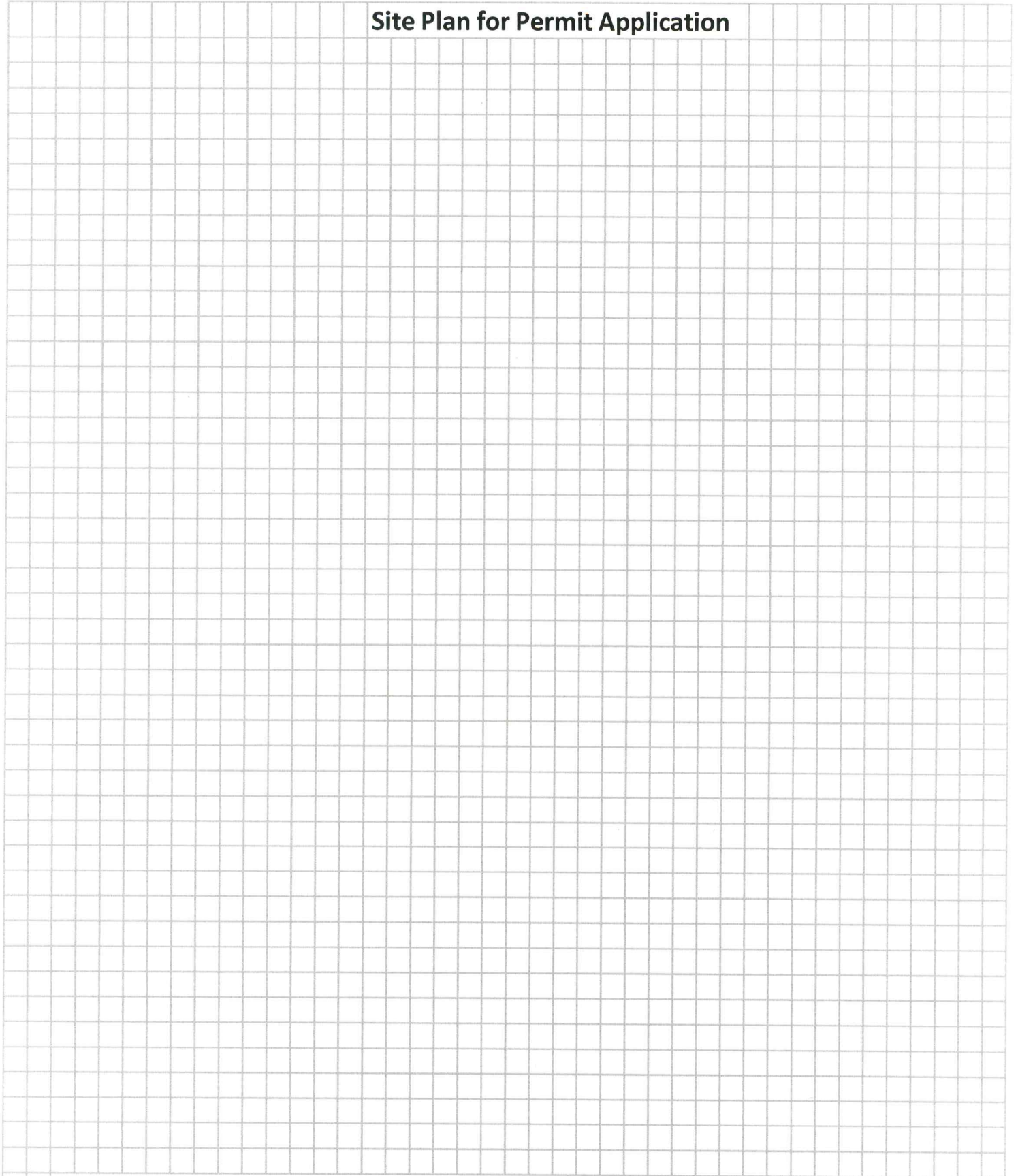
Site Plan Example for Permit Application

See attached Information



1 inch = 25 feet
1 square = 5 feet

Site Plan for Permit Application



Applicant's Name (please print): _____

Date _____